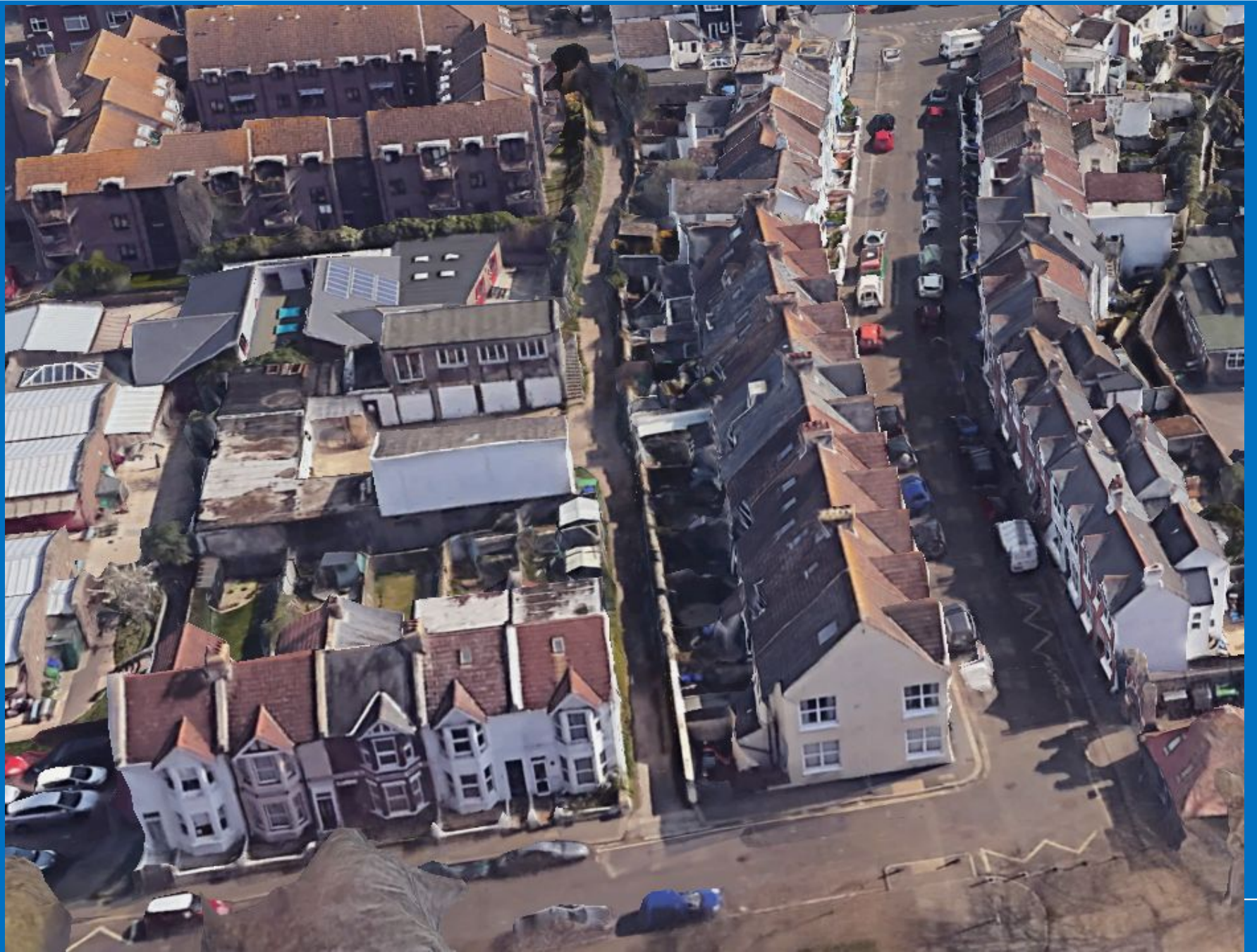


Item 1 – AWDM/0550/21

- Garage site south of Heene Primary School, Norfolk Street, Worthing





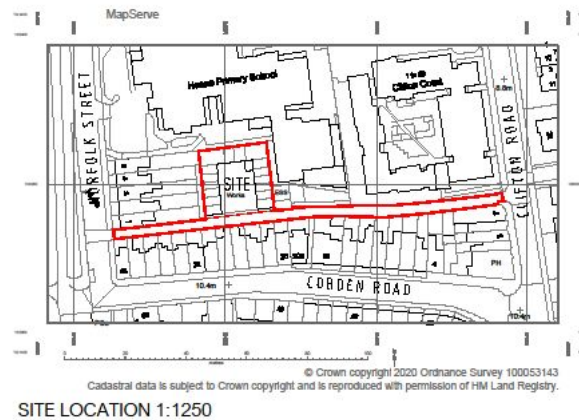


LOCATION PLAN

NOTES

DRAWING PREPARED FOR PLANNING APPLICATION
PURPOSES ONLY

SITE AREA EXCLUDING THROUGH ACCESS FROM NORFOLK STREET TO CLIFTON ROAD 0.0536 HA (536 SQM)



NORFOLK STREET GARAGES SITE - WORTHING

client BR7 LIMITED date FEB 2021 scale 1:1250 @ A3
project NORFOLK STREET GARAGES drg no 19014-PLLOC status PLANNING APPLICATION DRAWING 05.03.21

[illegible]

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tel: 0845 009 2223
email: we.n@prescent-designs.co.uk
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BLOCK PLAN AND INDICATIVE VIEWS

DRAWING PREPARED FOR PLANNING APPLICATION PURPOSES ONLY
survey information not available for adjacent school grounds



AERIAL VIEW OF EXISTING BUILDING MASSING FROM SOUTH EAST - indicative only



AERIAL VIEW OF PROPOSED BUILDING MASSING FROM SOUTH EAST - indicative only

ACCOMMODATION SCHEDULE

Responding to clients brief:
4 X 1 BEDROOM APARTMENTS - 50 SQM
2 X 2 BEDROOM APARTMENTS - 70 SQM

NIL CAR PARKING PROVIDED
BIN STORAGE fronting lane
BIKE STORAGE in central location

NOTES

RESTRICTED WIDTH ACCESS proposals subject to use of existing service road access for and requirements of utility and emergency services

DOMESTIC SPRINKLER / MISTING SYSTEMS to be considered as part of fire safety and protection measures for the scheme subject to requirements of fire authority and building control

GENERAL

The site has restricted access for delivery of construction materials and plant to site and the proposed scheme would necessitate construction work on all surrounding boundaries with adjacent landowners including potential drainage works within the common service road all of which will require a comprehensive and detailed safety management strategy to be adopted by the contractor.



AERIAL VIEW FROM SOUTH



SITE PLAN 1:500

NORFOLK STREET GARAGES - WORTHING

client: BR7 LIMITED date: JAN 2021 scale: NTS and 1:500@ A3
project: NORFOLK STREET GARAGES drg no: 19014-PL210 REV B status: PLANNING APPLICATION DRAWING REVISED 30.06.21

REV B 30.06.21 - BIKE SHELTER REVISED AND REPOSITIONED
REV A 16.06.21 - BRICK DETAILING BINS BIKES AND FRONTAGE REVISED

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tel: 01445 608 2223
email: we@crescent-designs.co.uk

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WORTHING BOROUGH
COUNCIL

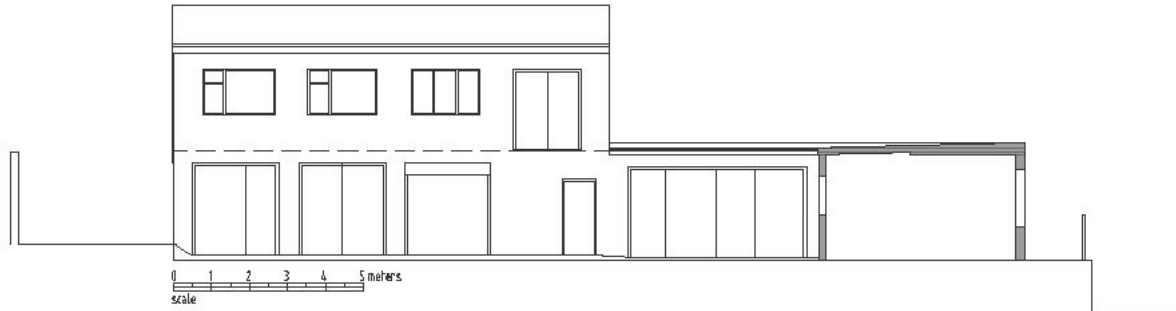
EXISTING SCHEMATIC ELEVATIONS - SHEET 1

NOTES

DRAWING PREPARED FOR PLANNING APPLICATION
PURPOSES ONLY

PLANS BASED ON HB SURVEY'S DRAWING 1519-M AND 02 DATED 06-02-2020

FLOOR AREAS WHERE NOTED ARE GROSS INTERNAL AND APPROXIMATE ONLY



front elevation facing east



front elevation facing south

NORFOLK STREET GARAGES SITE

client BR7 LIMITED date FEB 2021
project NORFOLK STREET GARAGES drg no 19016-PL205

scale 1:100 @ A3
status PLANNING APPLICATION DRAWING 05.03.21

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architecture | worthing

tele: 0845 008 2223
email: info@crescent-designs.co.uk

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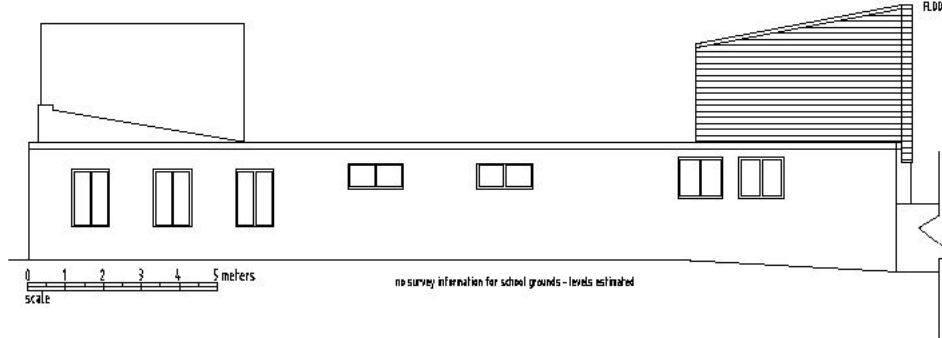
EXISTING ELEVATIONS - SHEET 3

NOTES

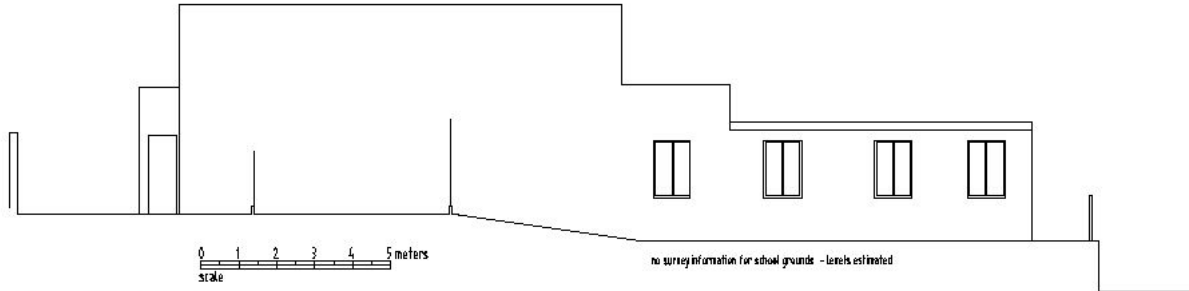
DRAWING PREPARED FOR PLANNING APPLICATION
PURPOSES ONLY

PLANS BASED ON HP SURVEYS DRAWINGS 1519-01 AND 02 DATED 04/02/2021

FLOOR AREAS WHERE NOTED ARE GROSS INTERNAL AND APPROXIMATE ONLY



rear elevation facing north



rear elevation facing east

NORFOLK STREET GARAGES SITE

client: BR7 LIMITED
project: NORFOLK STREET GARAGES

date: FEB 2021
drg no: 19014-PL207

scale: 1:100 @ A3
status: PLANNING APPLICATION DRAWING 05.03.21

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tele: 0845 008 2223

email: we@crescent-designs.co.uk

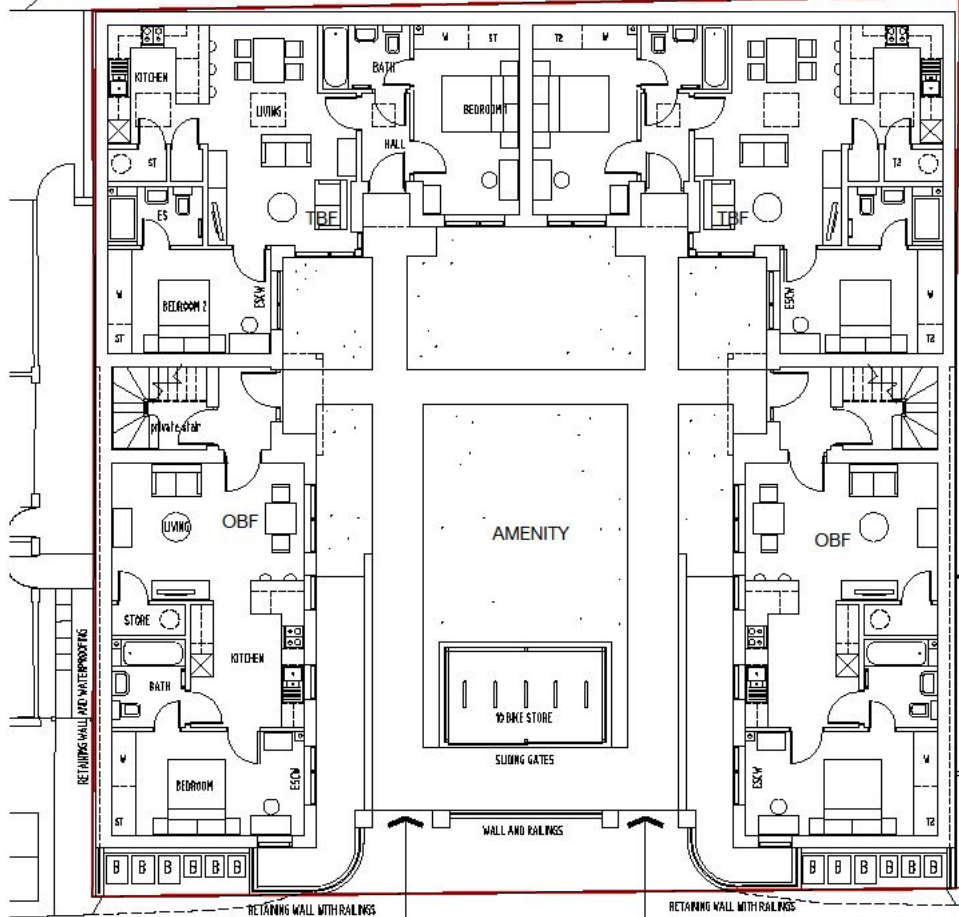
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WORTHING BOROUGH
COUNCIL

— line of site boundary



client BR7 LIMITED
project NORFOLK STREET GARAGES

client BR7 LIMITED
project NORFOLK ST

date JAN 2021

dra no 19014-PL220 REV-B

scale 1-100 to 43

PLANNING APPLICATION DRAWING REVISED 30.06.21

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DRAWING PREPARED FOR PLANNING APPLICATION
PURPOSES ONLY

THE SITE

THE PROPOSED PLANS ARE BASED ON HB SURVEYS DRAWING 1519-01 AND 02 DATED 06/02/2020

FIRE SAFETY

FIRST FLOOR FLATS ARE LESS THAN 4.5m ABOVE GROUND LEVEL SERVED BY A PRIVATE STAIR - PROPOSALS ARE SUBJECT TO FIRE ENGINEERING REVIEW, GAINING BUILDING REGULATION APPROVAL AND COMPLIANCE WITH THE BUILDING ACT 2004 INCLUDING THE INSTALLATION OF APPROPRIATE ESCAPE WINDOWS/ESCM, FIRE ALARMS AND FIRE SUPPRESSION SPRINKLER / MISTING SYSTEMS TO ENABLE THE SCHEME AND OPEN PLAN FLAT LAYOUTS PROPOSED.

BOUNDARIES

PROPOSALS ARE SUBJECT TO

- DETAILED DESIGN OF RETAINING STRUCTURE AND WATERPROOFING WHERE EXTERNAL GROUND LEVELS ARE HIGHER THAN LOWEST FINISHED FLOOR LEVEL.
- GAINING ALL NECESSARY AGREEMENTS AND APPROVALS FOR WORKS ON AND ADJACENT THE BOUNDARIES.

DRAINAGE

PROPOSALS ARE SUBJECT TO AN ENGINEERING DESIGN FOR FILL AND SURFACE WATER DISPOSAL FROM THE SITE

ACCOMMODATION SCHEDULE GROUND FLOOR

BASED ON NATIONALLY DESCRIBED SPACE STANDARDS

2 YR BE ONE BEDROOM FLAT

2X LBS ONE BEDROOM FLAT
2X TRE TWO BEDROOM FLAT

FLOOR AREAS WHERE NOTED ARE GROSS INTERNAL AND APPROXIMATE ONLY.

- NB care required with respect of work on boundary and protection of substation and buried services

REV B 30.06.21 - BINE SWELTER REVISED AND REPOSITIONED

REV. 8-16-21 - ENDS PAGES AND FRONTAGE REVISED

crescent designs
architecture | worthing

tele: 0845 009 2223

email: we.n@crescent-designs.co.uk

space:ark designs (uk) ltd. registered in england no. 322057

registered office: bishopstone 36 crescent road warthing west SUSSEX BN11 1RI

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— line of site boundary



DRAWING PREPARED FOR PLANNING APPLICATION
PURPOSES ONLY

THE SITE

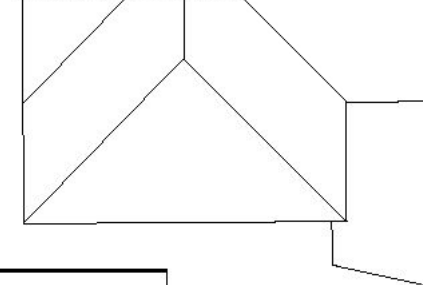
THE PROPOSED PLANS ARE BASED ON HIS SURVEYS DRAWING 1519-01 AND 12 DATED 06/02/2021

FIRE SAFETY

FIRST FLOOR FLATS ARE LESS THAN 6.5m ABOVE GROUND LEVEL SERVED BY A PRIVATE STAIR - PROPOSALS ARE SUBJECT TO FIRE ENGINEERING REVIEW, GAINING BUILDING REGULATION APPROVAL AND COMPLIANCE WITH THE HOUSING ACT 2004 INCLUDING THE INSTALLATION OF APPROPRIATE ESCAPE WINDOWS (ESCU), FIRE ALARMS AND FIRE SUPPRESSION SPRINKLER / MISTING SYSTEMS TO ENABLE THE SCHEME AND OPEN PLAN FLAT LAYOUTS PROPOSED.

ACCOMMODATION SCHEDULE FIRST FLOOR

2X BRK ONE BEDROOM FLAT 50 SQM (EXCLUDING STAIR)



REV B 30.06.21 - BIKE SHELTER REVISED AND REPOSITIONED
REV A 14.06.21 - BIKES AND FRONTAGE REVISED

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tel: 0845 009 2223
email: we.n@prescent-designs.co.uk
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registered office: bishopstone 36 crescent road worthing west sussex BN11 1RL

NORFOLK STREET GARAGES SITE

client BR7 LIMITED
project NORFOLK STREET GARAGES

date JAN 2021

dra no 19014-PL221REYA

Scale 1:100 @ A3

PLANNING APPLICATION DRAWING REVISED 30.06.21

[illegible]

PROPOSED ROOFPLAN

line of site boundary

VENTILATING ROOFLIGHTS

FLAT ROOF

FLAT ROOF

FLAT ROOF

AMENITY

BIKE STORE
SEMI ROOF

stair

stair

ADJACENT REAR ACCESS 1 - 5 PARKWAY STREET

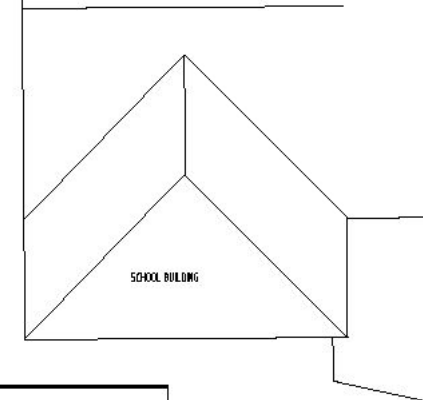
RETAINING WALL WITH RAILINGS

RETAINING WALL WITH RAILINGS

WALL AND RAILINGS

DRAWING PREPARED FOR PLANNING APPLICATION
PURPOSES ONLY

PLANS BASED ON HB SURVEYS DRAWING 1519-01 AND 02 DATED 06-02-2020



ADJACENT ELEC SUB STATION

REV B 30.06.21 - BIKE SHELTER REVISED AND REPOSITIONED
REV A 14.06.21 - BINS, BIKES AND FRONTAGE REVISED

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NORFOLK STREET GARAGES SITE

client BR7 LIMITED date JAN 2021 scale 1:100 @ A3
project NORFOLK STREET GARAGES dra no 19016-PI 222 REV B status PLANNING APPLICATION DRAWING REVISED 30.06.21

[illegible]

PROPOSED BUILDING AND SITE SECTIONS - SHEET 1

NOTES
DRAWING PREPARED FOR PLANNING APPLICATION PURPOSES ONLY
PLANS BASED ON HB SURVEYS DRAWING 1519-01 AND 02 DATED 06-07-2020
FINAL LEVELS ARE SUBJECT TO DETAILED TECHNICAL DESIGN

site section through courtyard facing east

Labels for site section through courtyard facing east:
 - proprietary generic timber clad bike store with sedum roof
 - approx rear of Cobden Road Properties
 - Service Road
 - BIKES
 - UNIT 3 TBF TWO BED FLAT
 - approx outline of existing buildings removed
 - HB - HB SURVEY INFORMATION AVAILABLE FOR SCHOOL SITE
 - School Site and existing retaining wall
 - Level of external ground shown
 - approx level of existing site
 - Scale: 0 1 2 3 4 5 meters

site section through units looking east

Labels for site section through units looking east:
 - bins on frontage
 - proposed retaining wall with railings above on part front boundary bins adjacent
 - UNIT 2 0BF ONE BED FLAT
 - UNIT 1 0BF ONE BED FLAT
 - UNIT 3 TBF TWO BED FLAT
 - approx outline of existing building
 - HB - HB SURVEY INFORMATION AVAILABLE FOR SCHOOL SITE
 - School Site and approximation of existing retaining wall
 - Level of external ground shown
 - approx level of existing site
 - Scale: 0 1 2 3 4 5 meters

PLANS BASED ON HB SURVEYS DRAWING 1519-M AND 02 DATED 06-01-2020
FINAL LEVELS ARE SUBJECT TO DETAILED TECHNICAL DESIGN

School Site and existing retaining wall

— School Site and approximation of existing retaining wall

client BR7 LIMITED date FEB 2021 scale 1:100 @ A3
project NORFOLK STREET GARAGES drg no 19014-PL230 REV B status PLANNING APPLICATION DRAWING REVISED 30.06.21

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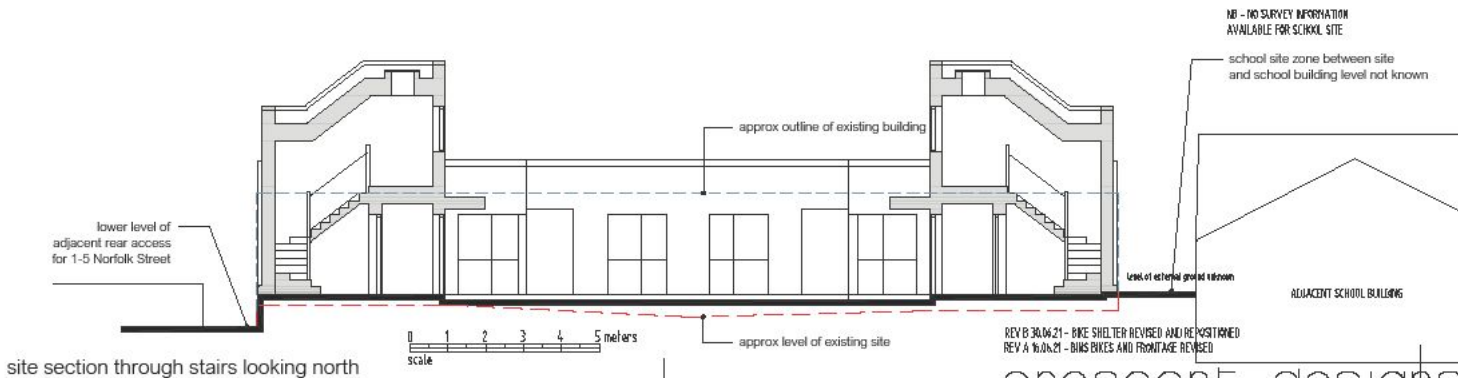
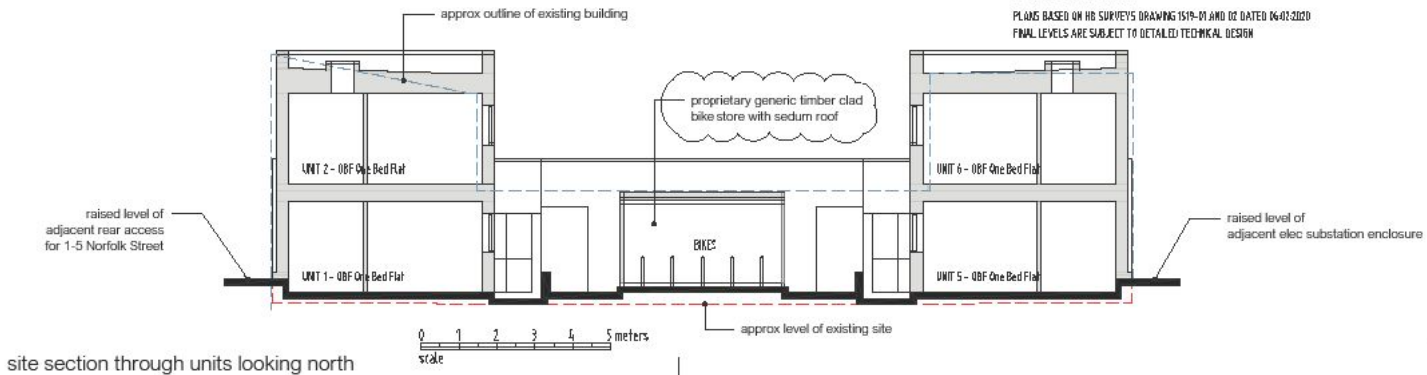
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email: we.n@cre-scent-designs.co.uk
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PROPOSED BUILDING AND SITE SECTIONS - SHEET 2

NOTES

DRAWING PREPARED FOR PLANNING APPLICATION PURPOSES ONLY

PLANS BASED ON NB SURVEYS DRAWING 1519-01 AND 02 DATED 06-07-2020
FINAL LEVELS ARE SUBJECT TO DETAILED TECHNICAL DESIGN



NORFOLK STREET GARAGES SITE

client BR7 LIMITED
project NORFOLK STREET GARAGES

date FEB 2021
drg no 19014-PL231REV3

scale 1:100 @ A3
status PLANNING APPLICATION DRAWING REVISED 30.06.21

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REV B 30.06.21 - BIKE SHELTER REVISED AND REPOSITIONED
REV A 19.06.21 - BINS BIKES AND FRONTAGE REVISED

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tele: 0845 008 2223
email: we@crenscent-designs.co.uk
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PROPOSED ELEVATIONS - Sheet 1

DRAWING PREPARED FOR PLANNING APPLICATION PURPOSES ONLY
survey information not available for adjacent school grounds



0 1 2 3 4 5 10
100 - SCALE meters

NORFOLK STREET GARAGES - WORTHING

client: BR7 LIMITED date: JAN 2021 scale: 1:100 @ A3
project: NORFOLK STREET GARAGES drg no: 19014-PL240 REV C status: PLANNING APPLICATION DRAWING REVISED 29.07.21

REV C 29.07.21 - MATERIALS NOTE UPDATED - BIN SIZES UPDATED
REV B 30.06.21 - BIKE SHELTER REVISED AND REPOSITIONED
REV A 18.06.21 - BRICK DETAILING ELEVATIONS BIN BIKES AND FRONTAGE REVISED

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CEB: 0645 006 2223
email: worthing@crescent-designs.co.uk

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PROPOSED ELEVATIONS - Sheet 2

DRAWING PREPARED FOR PLANNING APPLICATION PURPOSES ONLY
survey information not available for adjacent school grounds



0 1 2 3 4 5 10
100 - SCALE meters

NORFOLK STREET GARAGES - WORTHING

client: BR7 LIMITED date: JAN 2021 scale: 1:100 @ A3
project: NORFOLK STREET GARAGES dng no: 19014-PL241 REVA status: PLANNING APPLICATION DRAWING REVISED 30.06.21

REVA 18.06.21 - BRICK DETAILING ELEVATIONS BINS BIKES AND FRONTAGE REVISED

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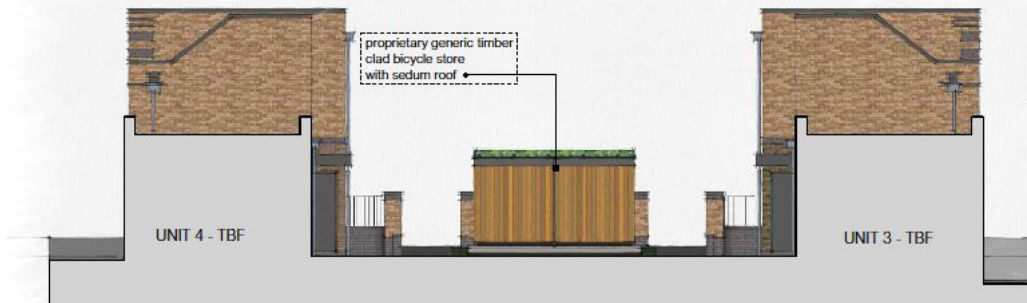
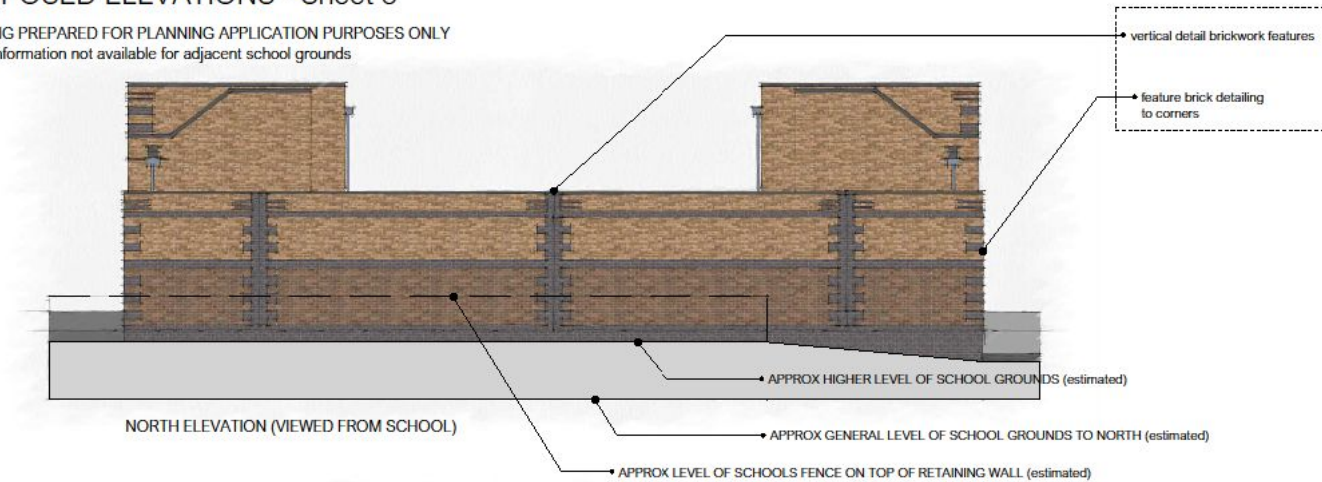
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PROPOSED ELEVATIONS - Sheet 3

DRAWING PREPARED FOR PLANNING APPLICATION PURPOSES ONLY
survey information not available for adjacent school grounds



0 1 2 3 4 5 10
100 - SCALE meters

NORFOLK STREET GARAGES - WORTHING

client: BR7 LIMITED date: JAN 2021 scale: 1:100 @ A3
project: NORFOLK STREET GARAGES dirg no: 19014-PL242 REV B status: PLANNING APPLICATION DRAWING REVISED 30.06.21

REVS 29.06.21 - BIKE SHELTER REVISED AND REPOSITIONED
REVA 16.06.21 - BRICK DETAILING ELEVATIONS BINS BIKES AND FRONTAGE REVISED

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architecture | worthing

019 0845 009 2223
email: worthing@crescent-designs.co.uk

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PROPOSED ELEVATIONS - Sheet 4

DRAWING PREPARED FOR PLANNING APPLICATION PURPOSES ONLY
survey information not available for adjacent school grounds



0 1 2 3 4 5 10
100 - SCALE meters

EAST ELEVATION / SECTION FROM WITHIN SITE

NORFOLK STREET GARAGES - WORTHING

client: BR7 LIMITED date: JAN 2021 scale: 1:100 @ A3
project: NORFOLK STREET GARAGES drg no: 10014-PL243 REVA status: PLANNING APPLICATION DRAWING REVISED 16.08.21

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REVA 16.08.21 - BRICK DETAILING ELEVATIONS BINS BIKES AND FRONTAGE REVISED

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architecture | worthing

tel: 0645 009 2223
email: info@crescent-designs.co.uk

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INDICATIVE STREET SCENE / SITE SECTIONS - context information estimated.

DRAWING PREPARED FOR PLANNING APPLICATION PURPOSES ONLY
survey information not available for adjacent school grounds



INDICATIVE SECTION THROUGH SITE NORTH TO SOUTH VIEWED FROM WEST



INDICATIVE SECTION THROUGH SERVICE ROAD WEST TO EAST VIEWED FROM SOUTH

NORFOLK STREET GARAGES - WORTHING

client: BR7 LIMITED date: JUL 2021 scale: 1:200@ A3
project: NORFOLK STREET GARAGES drg no: 19014-PL250 status: PLANNING APPLICATION DRAWING 29.07.21

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architecture | worthing

tel: 0645 608 2223
email: web@crescent-designs.co.uk

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INDICATIVE APPROACH VIEWS - context information estimated.

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survey information not available for adjacent school grounds



INDICATIVE APPROACH VIEW FROM WEST



INDICATIVE APPROACH VIEW FROM EAST

NORFOLK STREET GARAGES - WORTHING

client: BR7 LIMITED date: JUL 2021 scale: NTS @ A3
project: NORFOLK STREET GARAGES dng no: 19014-PL251 status: PLANNING APPLICATION DRAWING 29.07.21

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tel: 0645 009 2223
email: we@crescent-designs.co.uk

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INDICATIVE AERIAL VIEW - context information estimated.

DRAWING PREPARED FOR PLANNING APPLICATION PURPOSES ONLY
survey information not available for adjacent school grounds



INDICATIVE AERIAL VIEW FROM SOUTH EAST

NORFOLK STREET GARAGES - WORTHING

client: BR7 LIMITED date: JUL 2021 scale: NTS @ A3
project: NORFOLK STREET GARAGES drg no: 19014-PL252 status: PLANNING APPLICATION DRAWING 29.07.21

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tel: 01403 609 2223
email: info@crescent-designs.co.uk

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WORTHING BOROUGH
COUNCIL

INDICATIVE OF THE SOUTH STREET ELEVATION - SCALE 1:50 (vertical information estimated)

DRAWING PREPARED FOR PLANNING APPLICATION PURPOSES ONLY
survey information not available for adjacent school grounds



1 2.5 5 7.5 10 12.5 15 17.5 20 22.5 25 27.5 30
30' - SCALE HERE

NORFOLK STREET GARAGES - WORTHING

client: BRT LIMITED date: JULY 2001 scale: 1:50 @ A3
project: NORFOLK STREET GARAGES design: CRESCENT DESIGNS
note: PLANNING APPLICATION DRAWING 26.07.21

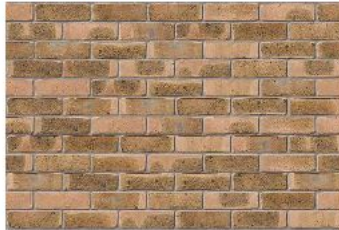
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INDICATIVE MATERIALS

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survey information not available for adjacent school grounds



SANDFACED YELLOW MULTI COLOURED STOCK



WIRECUT DARK GREY SMOOTH
DETAIL BRICK



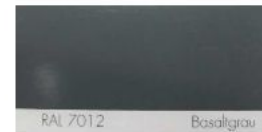
SANDFACED GREY MULTICOLOURED STOCK



CONTEMPORARY OAK
FRONT DOORS
WITH GLAZED PANEL



INDICATION OF TYPICAL ALUMINIUM TIMBER COMPOSITE WINDOWS AND
PANELS BUT WITH PROPOSED COLOUR - RAL 7012 BASALT GREY



NORFOLK STREET GARAGES - WORTHING

client: BR7 LIMITED date: JUL 2021 scale: NTS @ A3
project: NORFOLK STREET GARAGES drg no: 19014-PL253 status: PLANNING APPLICATION DRAWING 29.07.21

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